

CITY OF MESA
PLANNING AND ZONING

SITE PLAN REVIEW

6-2-17

GATEWAY TECHNOLOGY AND COMMERCE CENTER





GATEWAY TECHNOLOGY AND COMERCE CENTER



Orsett

**Gateway Technology and Commerce Center
CASE #PLN 2017-00253 & PLN 2017-00254
Parcel 304-30-027M**

Narrative

Date: June 2, 2017

Owner Developer: Phx Mesa Gateway Airport 193, LLC
c/o Orsett Properties Ltd

Applicant / Architect: Balmer Architectural Group inc
2425 East Camelback, Suite 775
Phoenix, AZ 85016
602.954.6718; 602.468.9680 (fax)
Email: wbalmer@bag-inc.com

Gateway Technology and Commerce Center proposes a flex-industrial Project to satisfy the market needs around the Phoenix Mesa Gateway Airport. The site's visual and vehicular access from Loop 202 and airport proximity provide an excellent opportunity for this proposed development of 2 light industrial shell buildings consisting of 139,000sf on 9.78 acres land. Specifically, the site is located at the SW corner of Ray Road and the Sossaman alignment south of the 202. This product type has been successful recently in east Chandler, Gilbert and north Phoenix. The Project targets bringing similar users to the Mesa environment.

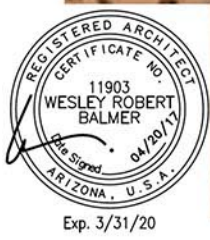
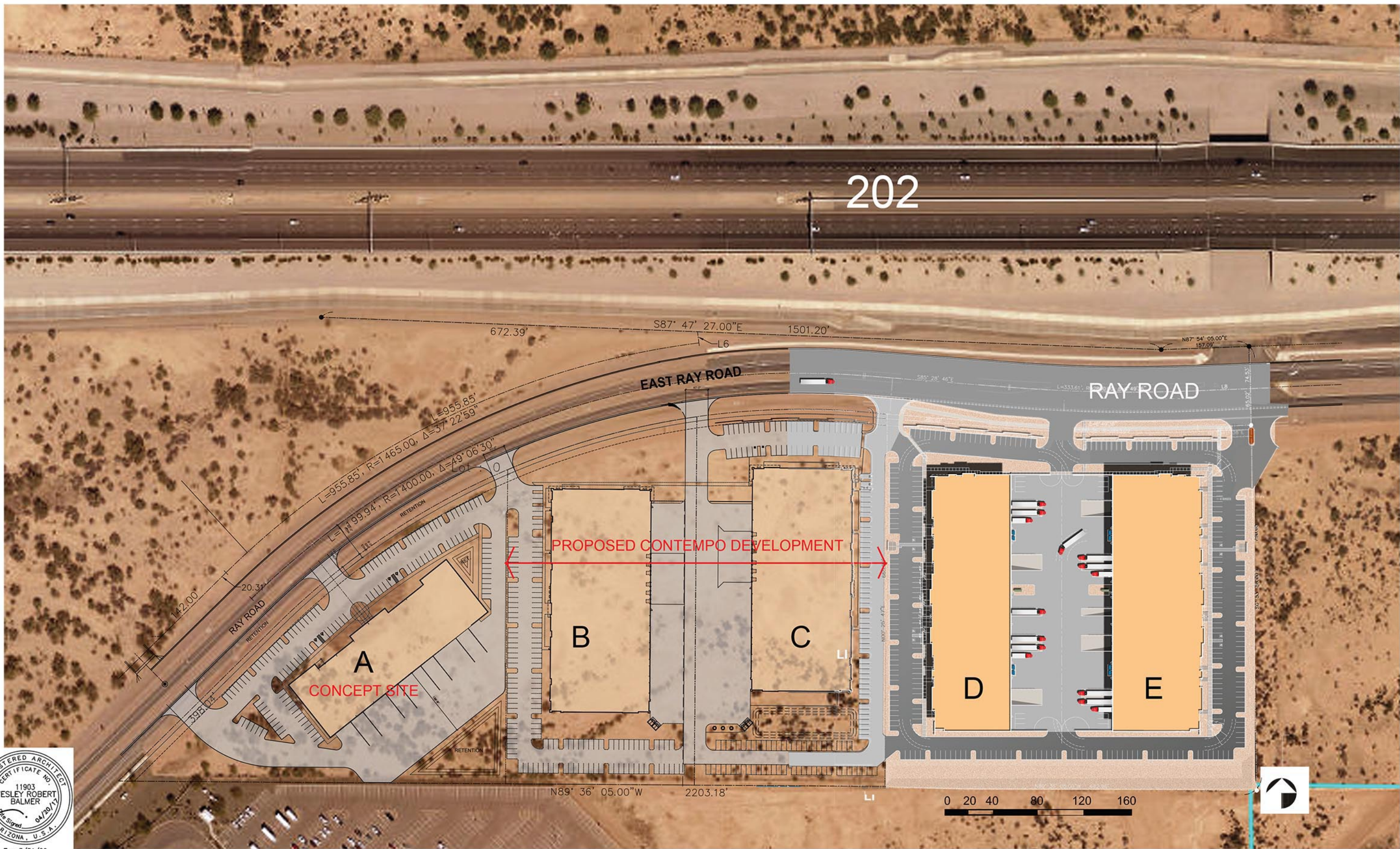
The buildings are of varied depths to offer Tenants flexibility in lease areas. Actual improvements will be Tenant driven. The design provides individual tenant identity while providing a thread of reveals and steel channel detailing to unite the design. The facades will create interest with both vertical play of masses and also the in-and-out projections.

The Landscape theme is developed to tie plant materials in with the adjacent recently approved Project, "Contempo", to the west. This will create a theme for the development on the south side of Ray Road.

A request is made to allow higher parapets than the 40' denoted in the Mesa Codes to up to 46' at certain facade areas to provide more skyline articulation. This will allow maintaining a clear height to attract market flexibility and screen mechanical units. The main building parapet can fit within the 40' standards, however, creating the dramatic vertical elements would not be possible within ordinance requirements.

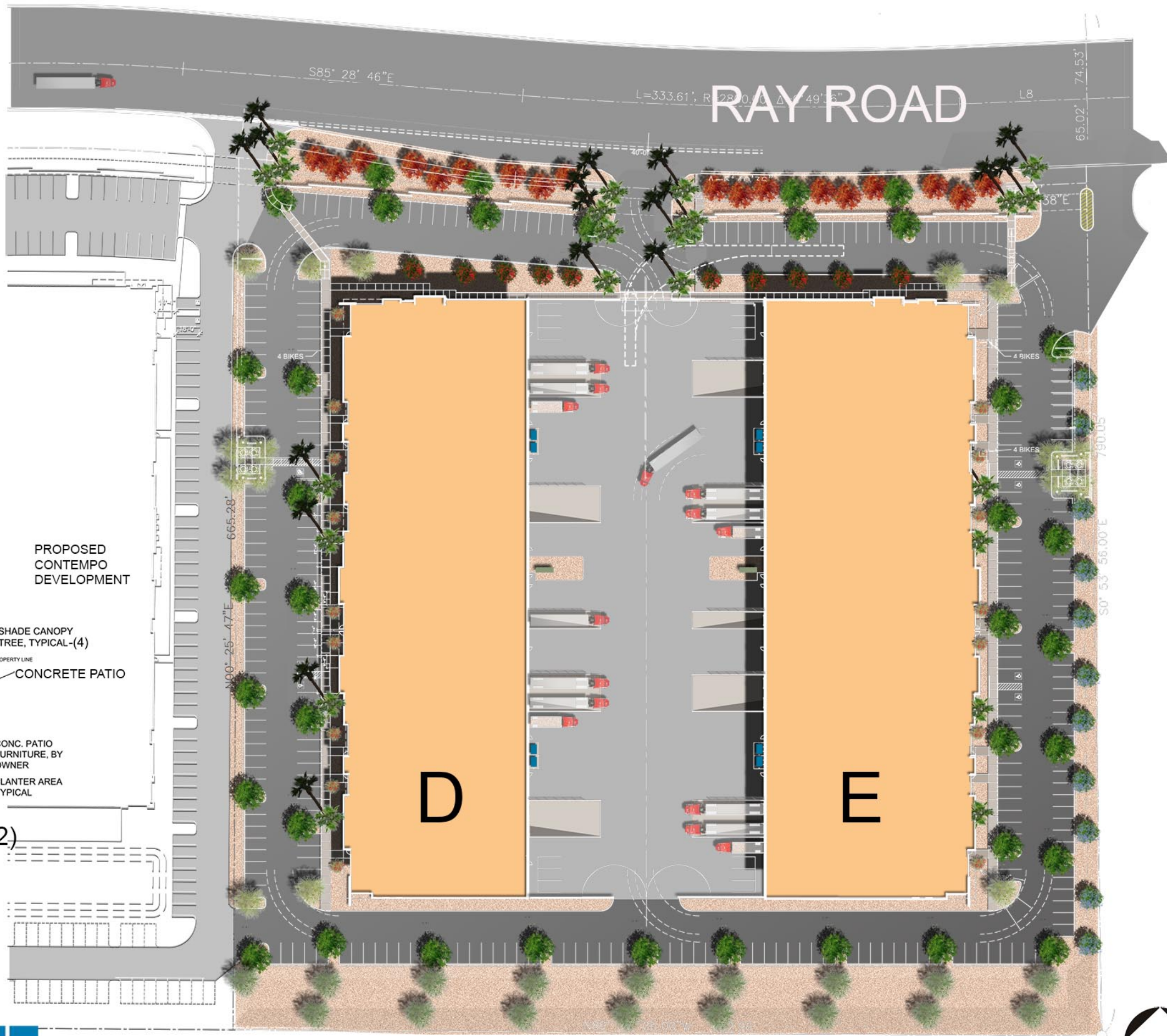
The Project is developed with a common screened truck court that can facilitate large semi's and in town trucks, making the appeal to a variety of potential tenants for manufacturing and warehousing. Each building provides a separate patio area across from entry parking for employee common use. A common drive on the west will be shared with the adjacent development to minimize drives on Ray Road.

The signage for the Project will be submitted as a separate design package.



GATEWAY TECHNOLOGY AND COMMERCE CENTER

CONCEPTUAL MASTERPLAN



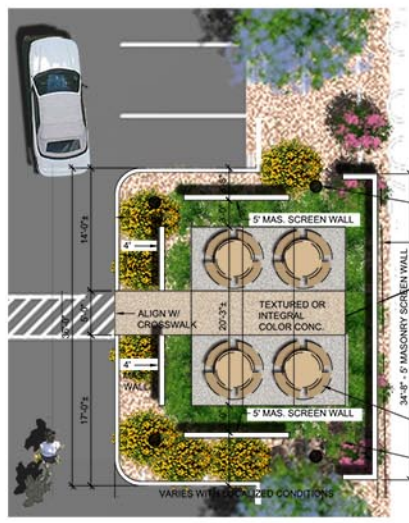
RAY ROAD

D

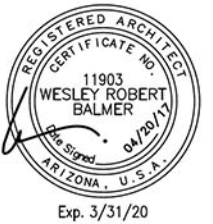
E

PROPOSED CONTEMPO DEVELOPMENT

- SHADE CANOPY TREE, TYPICAL-(4)
- CONCRETE PATIO
- CONC. PATIO FURNITURE, BY OWNER
- PLANTER AREA TYPICAL



ENLARGED PATIO (2)



VISIBILITY TRIANGLE INFO:
 VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.
 STREET SPEED: 45 MPH
 STREET CROSS SECTION 7LU (88')
 L = 385'
 R = 145'

LOOP 202 R/W

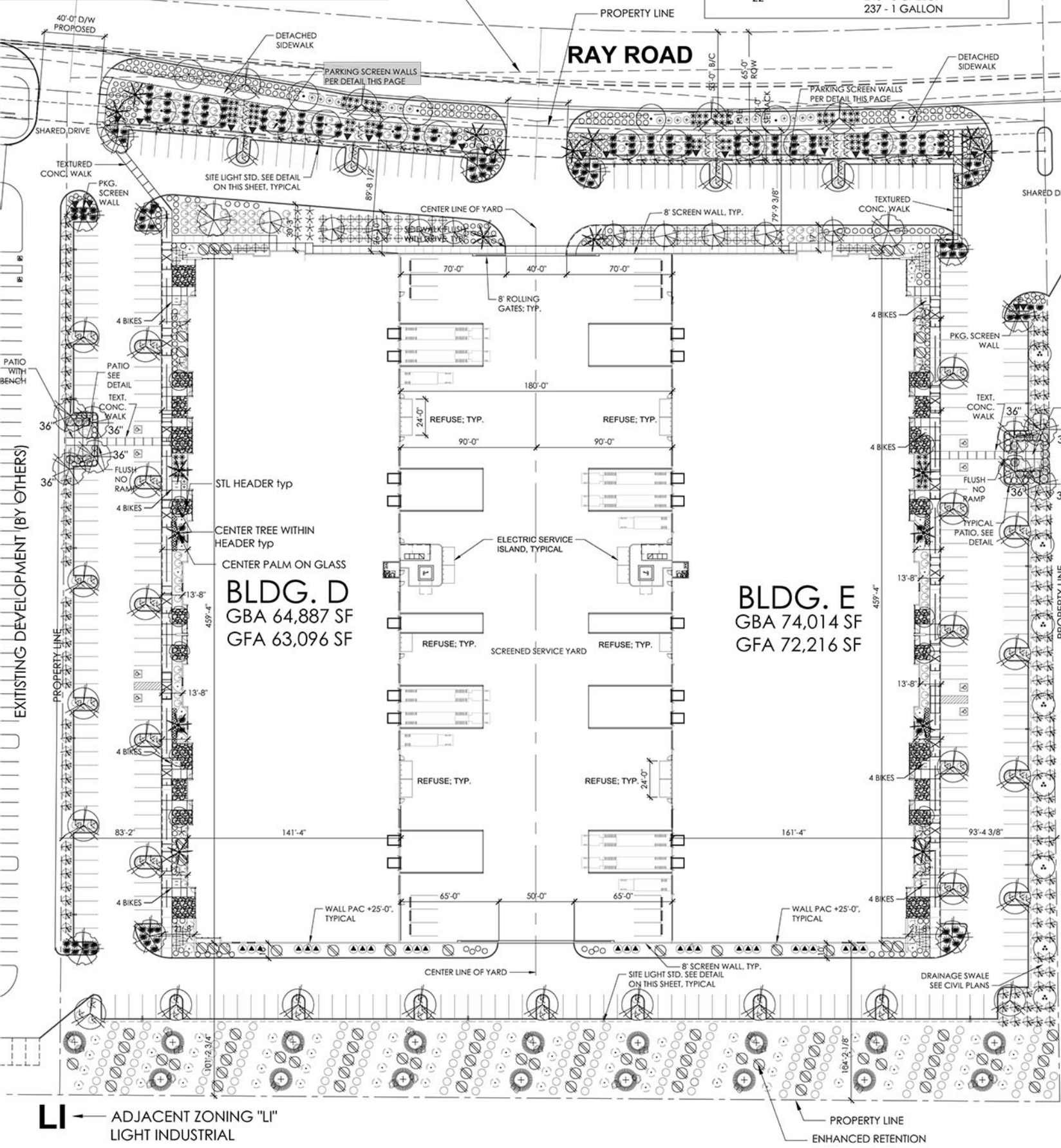
RAY ROAD LANDSCAPE REQUIREMENTS:
 543'-00" (NOT INCLUDING DRIVES)
 REQUIRED TREE(S)
 1 TREE PER 25' LF = 22
 PROVIDED TREE(S)
 22
 REQUIRED SHRUB(S)
 6 SHRUB(S) PER 25' LF = 132
 PROVIDED SHRUB(S)
 245 - 5 GALLON
 237 - 1 GALLON

LANDSCAPE LEGEND

- Parkinsonia hybrid 'Desert Museum'
Desert Museum Palo Verde 24" Box Multi trunk
- Chilopsis linearis 'Art's Seedless'
Desert Willow - 15 Gallon
- Sophora secundiflora
Texas Mtn Laurel - 24" Box
- Caesalpinia mexicana
Mexican Bird of Paradise - 36" Box Multi trunk
- Quercus virginiana
Southern Live Oak - 24" Box
- Nerium oleander 'Standard'
Red Oleander Tree - 24" Box
- Washingtonia robusta
Mexican Fan Palm - 12 Tr Ft Skinned, Straight and Matching
- Pistacia atlantica x integerrima
Red Push - 36" Box
- Nerium oleander 'Petite Pink'
Petite Pink Oleander
- Callistemon 'Little John'
Dwarf Callistemon - 5 Gallon
- Eremophila maculata 'Valentine'
Valentine Bush - 5 Gallon
- Calliandra eriophylla
Fairy Duster - 5 Gallon
- Caesalpinia pulcherrima
Red Bird of Paradise - 5 Gallon
- Baccharis hybrid 'Starn'
Starn's Coyote Bush - 5 Gallon
- Tecoma orange jubilee
orange jubilee - 5 Gallon
- Hesperaloe parviflora
Yellow Yucca - 5 Gallon
- Hesperaloe parviflora
Red Yucca - 5 Gallon
- Agave desmettiana
Agave desmettiana - 5 Gallon
- Bougainvillea 'Barbara Karst'
Bougainvillea 'staked' - 5 Gallon
- Xylosma congestum
xylosma hedge - 5 Gallon
- Lantana montevidensis
Dallas Red Lantana - 1 Gallon
- Lantana montevidensis
Gold Mound' - 1 Gallon
- Acacia redolens 'Desert Carpet'
Desert Carpet tm Acacia - 1 Gallon
- Convolvulus cneorum
Bush Morning Glory - 1 Gallon

PROJECT DATA:

ZONING:	LI - LIGHT INDUSTRIAL
CASE NOS:	
USE:	25% OFFICE 75% STORAGE
OCCUPANCY:	B - F1 - S1
CONSTRUCTION TYPE:	V-B
NET SITE AREA:	425,789 S.F. (9.7748 AC.)
GROSS SITE AREA:	467,773 S.F. (10.7386 AC.)
GROSS BLDG AREA:	138,901 S.F.
BLDG D:	64,887 S.F.
BLDG E:	74,014 S.F.
LOT COVERAGE:	138901 / 425789 = 32.6%
GROSS FLOOR AREA:	135,312 S.F.
BLDG D:	63,096 S.F.
BLDG E:	72,216 S.F.
AREA INCREASE: BASE ALLOWABLE = 36,000 S.F. (B & S-1) UNLIMITED AREA PER SECTION 507 MINIMUM 60' YARDS ON ALL SIDES AND FULLY SPRINKLERED PER SECTION 903.	
PARKING REQUIRED: (SHELL INDUSTRIAL)	277 SPACES
25% OFFICE @ 1:375 = 33828 / 375 =	90.2 SPACES
35% MFG @ 1:600 = 47359 / 600 =	78.9
40% STORAGE @ 1:500 = 54125 / 500 =	108.25 SPACES
ACCESSIBLE SPACES: 201:300 =	7 SPACES
PARKING PROVIDED:	291 SPACES
STANDARD SPACES:	283
ACCESSIBLE SPACES:	8
(NOTE: ALL ACCESSIBLE SPACES ARE UNIVERSAL TYPE)	
BICYCLE PARKING REQUIRED:	29.1
1:10 CAR SPACES =	
291 CAR SPACES / 10 = 29.1	
BICYCLE PARKING PROVIDED:	32
OCCUPANT LOAD BLDG D:	
OFFICE: 1:100 = 15774 / 100 =	158 PEOPLE
MFG: 1/200 = 22084 / 200 =	111 PEOPLE
STORAGE: 1:500 = 25238 / 500 =	51 PEOPLE
TOTAL:	320 PEOPLE
EXITS REQUIRED = 2	
EXITS PROVIDED = 18	
OCCUPANT LOAD BLDG E:	
OFFICE: 1:100 = 18054 / 100 =	181 PEOPLE
MFG: 1/200 = 25276 / 200 =	127 PEOPLE
STORAGE: 1:500 = 28886 / 500 =	58 PEOPLE
TOTAL:	366 PEOPLE
EXITS REQUIRED = 2	
EXITS PROVIDED = 18	



- D.G. 1/2" Select Granite Express Arizona Red
2" min thickness in all landscape areas
- 1" Select Granite Express Armor
2" min thickness in all landscape areas
- Steel Header 4" x 1/16"
- 3'x3'x3' PIT BOULDER
GRANITE BOULDER
MINIMUM 2000lbs EACH

LANDSCAPE CALCULATIONS:

OFF-SITE LANDSCAPE: 14,637 SQ.FT.
 ON-SITE LANDSCAPE: 106,834 SQ.FT.
 TOTAL LANDSCAPE: 121,471 SQ.FT.

LI ← ADJACENT ZONING "LI"
 LIGHT INDUSTRIAL

PRELIMINARY LANDSCAPE PLAN

SCALE 1" = 40'



PLN2017-00253 & PLN2017-00254

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ORSETT GATEWAY TECHNOLOGY AND COMMERCE CENTER
 E. RAY ROAD - MESA AZ.
 PRELIMINARY LANDSCAPE PLAN



T.J. McQUEEN & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING

8433 East Cholla St., Suite 101
 Scottsdale, Arizona 85260
 P. (602) 265-0320 F. (602) 266-6619
 EMAIL: timmqueen@tjma.net



La.01
 36014
 31MAY17



BUILDING E

COMBINED NORTH ELEVATION

BUILDING D



north

BUILDING D-E TRUCK COURT ELEVATION



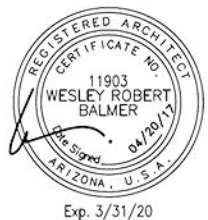
BUILDING D WEST BUILDING E EAST



BUILDING D

COMBINED SOUTH ELEVATION

BUILDING E



PPG CARIBIA GLASS



CMU SCREEN WALL AT PARKING FRONTING STREET



CORRUGATED METAL AT GATE AND SIMILAR AT RIBBED CONCRETE ACCENT PANELS AND TRUCK YARD SCREEN WALL



PAINT

COLORS ARE DUNN EDWARDS

P1



P1-C = RIBBED FORMLINER

DET611
IRON-IC

P2



DET612
STIEGLITZ SILVER

P3

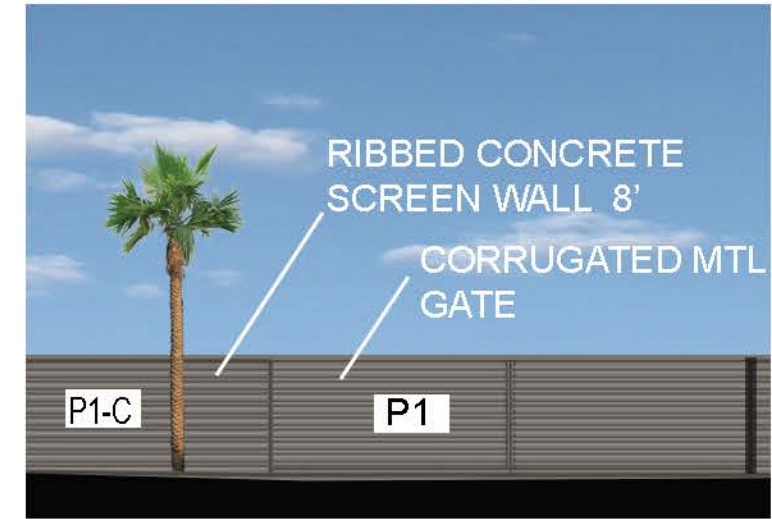


DET614
SO CHIC

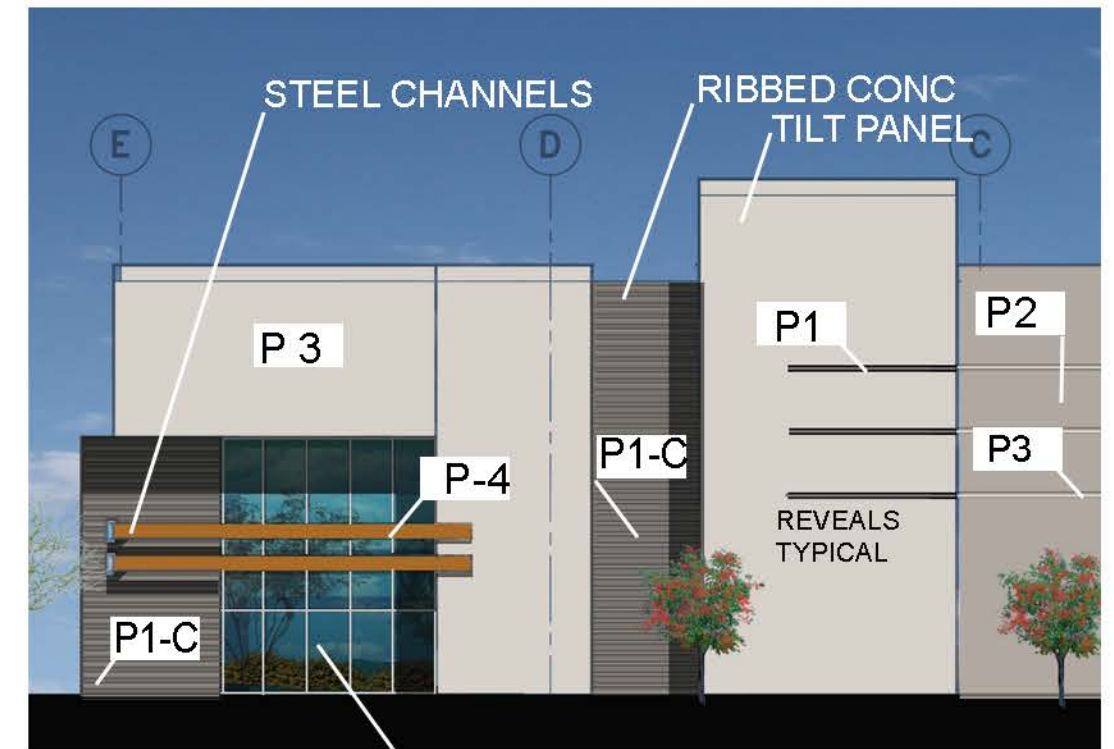
P4



DET467
HARRISON RUST



GATE ELEVATION



CARBIA GLASS IN ALUM FRAME
 PAINT ELEVATION

FLC131 LED

665-3321

1/8



Description

IP66. Surface mounted LED floodlight. Integral control gear. Special effects can be realized with linear lens, or flood lens.

Beam Type	symmetric, medium beam
Lamp Type	LED-12/24W / 700 mA - 4000 K
Gear Type	electronic gear
Nominal Luminous Flux (lm)	
LED Lumens	245.9 lm
LEDs	12
Total Lumens	2951 lm
Tj	85 °C
Rated Luminous Flux (lm)	
LED Lumens	211.9 lm
Total Lumens	2542.8 lm
Ta	25 °C
Rated Input Power	28 W

SOLID STATE AREA LIGHTING

RAZAR SERIES-LED

SPECIFICATIONS

OPTICAL HOUSING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance $\pm .002"$) to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ELECTRICAL HOUSING w/ INTEGRATED ARM

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED™ OPTICS

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. In asymmetric distributions, a micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard site/area distributions. Panels are field replaceable and field rotatable in 90° increments.

LED DRIVER(S)

Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50,60Hz. (0 - 10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

LED EMITTERS

High output LED's are utilized with drive currents ranging from 350mA to 1050mA. 70CRI Minimum. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

FINISH

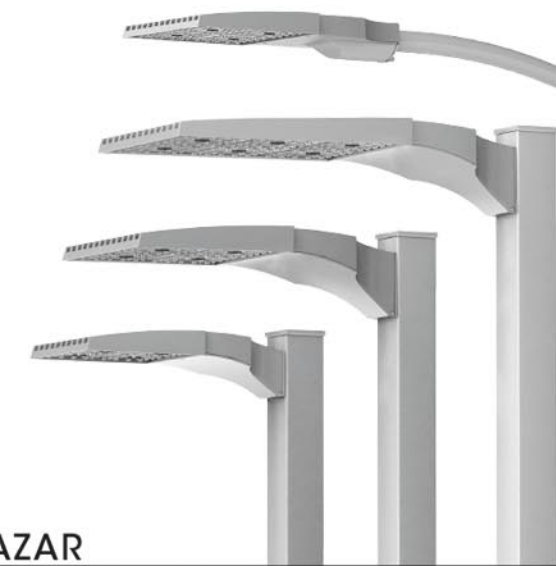
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

MAST ARM FITTER/ELECTRICAL HOUSING

Replaces standard Electrical Housing. Fits standard 2 3/8" O.D. horizontal tenon. Two (2) straps with two (2) bolts each encircle the lower half of the tenon. Upper half of the tenon rests on self-centering steps that position the angle of the luminaire at 0°, +1.5°, +1.5 or +3° up from the horizontal. All hardware is stainless steel.

PROJECT NAME: _____

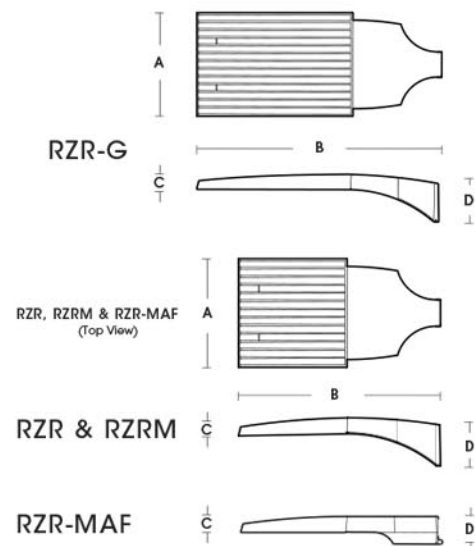
PROJECT TYPE: _____



RAZAR

(MODELS: RZRM, RZR, RZR-G & RZR-MAF)

PATENT PENDING



FIXTURE	A	B	C	D
RZR-G	15" 381mm	36.5" 927mm	3" 76mm	7" 187mm
RZR	14.75" 375mm	28.25" 718mm	2.75" 70mm	6.5" 165mm
RZRM	11.5" 292mm	22" 559mm	2.5" 64mm	5.25" 133mm
RZR-MAF	15" 381mm	28.25" 724mm	2.5" 64mm	4" 102mm



2016217

GROUND MOUNTED UP LIGHT
THIS FIXTURE IS AT ACCENT RIBBED WALLS AND PALMS

POLE LIGHT- WALL PACK



GATEWAY TECHNOLOGY AND COMMERCE CENTER

LIGHT FIXTURES

VISIBILITY TRIANGLE INFO:

VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.

STREET SPEED: 45 MPH
L = 385
R = 145

BLDG. SETBACKS: LI DISTRICT:

STREET SIDE: 20'-FEET AS SHOWN INTERIOR AND REAR ADJACENT TO LI DISTRICT (SETBACK IS 0(ZERO), THEREFORE NO SETBACKS ARE SHOWN ON THE EAST, WEST AND SOUTH PROPERTY LINES.

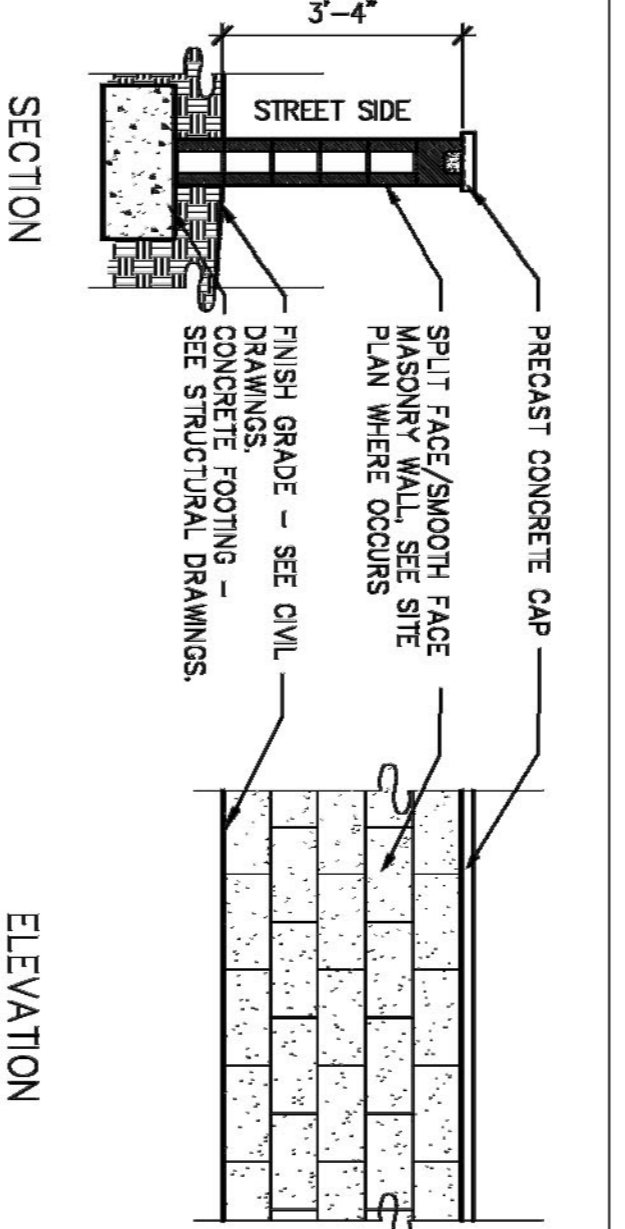
EMERGENCY ACCESS:

EMERGENCY ACCESS IS PROVIDED THROUGHOUT THE SITE. 360 DEGREES AROUND BOTH BUILDINGS AND THROUGH THE SERVICE YARD.

ADA SITE ACCESS ROUTE:

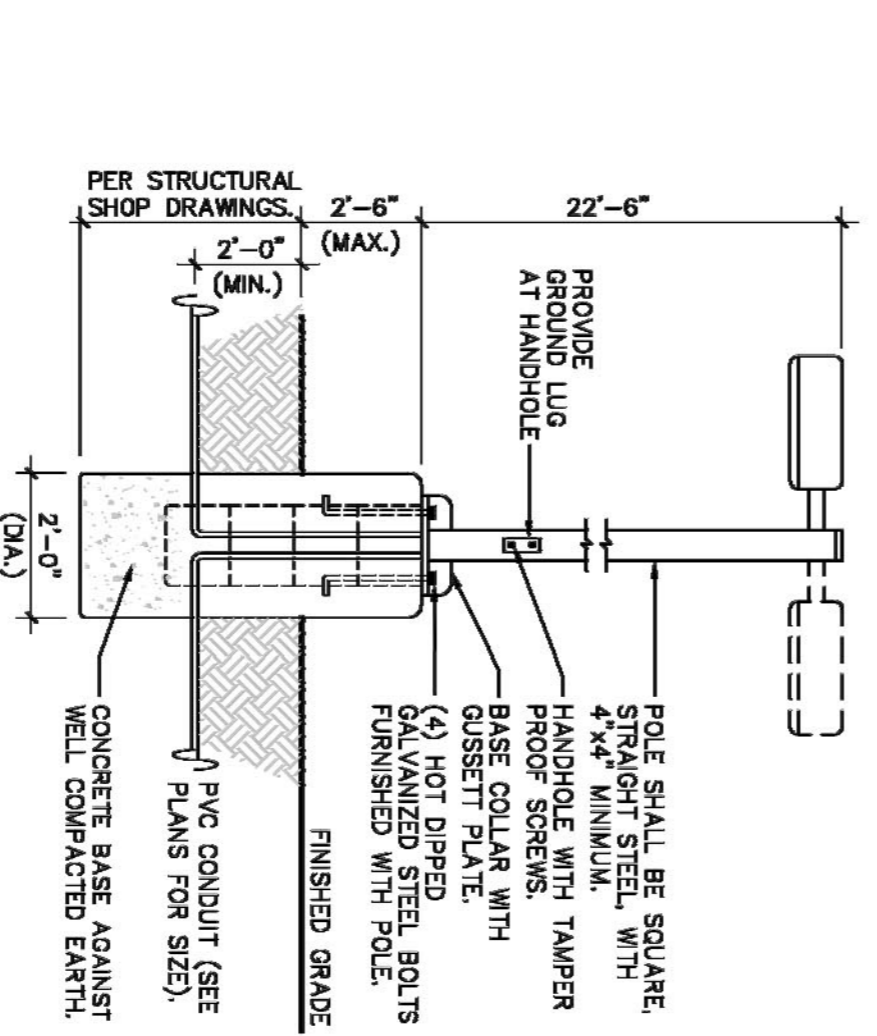
ADA ACCESS ROUTE IS DESIGNATED BY THE FOLLOWING LINE TYPE: ———— EXIT ———— EXIT

ADA ROUTE STARTS AT THE SOUTHERN MOST ENTRY ON THE WEST SIDE OF BLDG. D AND THE EAST SIDE OF BLDG. E. AT BOTH LOCATIONS IT PROCEEDS NORTH TO A CONNECTING SIDEWALK ALONG THE NORTH FACE OF BOTH BUILDINGS. IT THEN TURNS EAST ALONG BLDG. D AND WEST ALONG BLDG. E TO THE SIDEWALK ON THE EAST SIDE OF THE SERVICE YARD ENTRANCE, THEN NORTH TO THE EXISTING STREET, RAY ROAD.

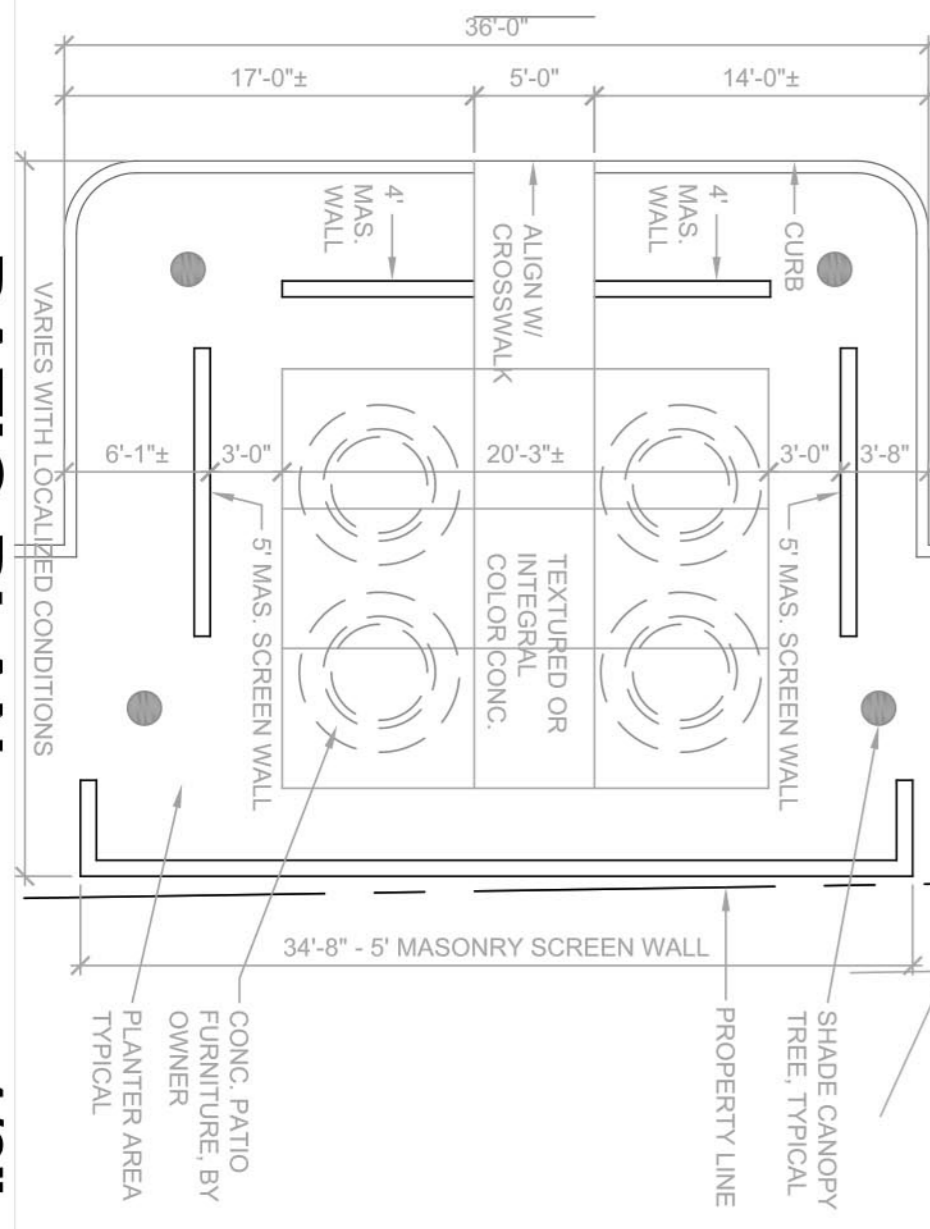


3' PARKING SCREEN WALL

POLE MOUNTED FIXTURE DETAIL



THE POLE CONCRETE BASE DETAIL IS SHOWN FOR ELECTRICAL, ROUGH-IN AND SHALL NOT BE USED FOR THE ACTUAL BASE CONSTRUCTION. POLE BASE SHALL BE DESIGNED BY A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF ARIZONA AND CONSTRUCTED PER STRUCTURAL ENGINEER'S SEALED CONSTRUCTION DOCUMENT.



PATIO PLAN

1/8\"

ADJACENT ZONING "LI"

LOOP 202 RW

N87° 54' 05.00\"

PROJECT DATA:

ZONING: LI - LIGHT INDUSTRIAL
CASE NOS: 25% OFFICE 75% STORAGE
USE: B-F-1 - S1
OCCUPANCY: V-B
CONSTRUCTION TYPE: V-B

NET SITE AREA: 425,789 S.F. (9.7748 AC.)
GROSS BLDG AREA: 467,773 S.F. (10.7386 AC.)

GROSS BLDG AREA: 138,901 S.F.
BLDG D: 64,887 S.F.
BLDG E: 74,014 S.F.

LOT COVERAGE: 138901 / 425789 = 32.6%

GROSS FLOOR AREA: 135,312 S.F.
BLDG D: 63,096 S.F.
BLDG E: 72,216 S.F.

AREA INCREASE: BASE ALLOWABLE = 36,000 S.F. (B & S-1) UNLIMITED AREA PER SECTION 507 MINIMUM 60' YARDS ON ALL SIDES AND FULLY SPRINKLERED PER SECTION 903.

PARKING REQUIRED: (SHELL INDUSTRIAL)
25% OFFICE @ 1.375 = 33928 / 375 = 90.2 SPACES
35% MFG @ 11900 = 47359 / 500 = 78.9
40% STORAGE @ 1500 = 54125 / 500 = 108.25 SPACES

ACCESSIBLE SPACES: 201:300 = 7 SPACES

PARKING PROVIDED: STANDARD SPACES: 291 SPACES
ACCESSIBLE SPACES: 283

(NOTE: ALL ACCESSIBLE SPACES ARE UNIVERSAL TYPE)

BICYCLE PARKING REQUIRED: 29.1
1-10 CAR SPACES = 291
BICYCLE PARKING PROVIDED: 32

OCCUPANT LOAD BLDG D:
OFFICE: 1:100 = 15774 / 100 = 158 PEOPLE
MFG: 1:200 = 22084 / 200 = 111 PEOPLE
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TOTAL: 320 PEOPLE

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OFFICE: 1:100 = 18054 / 100 = 181 PEOPLE
MFG: 1:200 = 29276 / 200 = 147 PEOPLE
STORAGE: 1:500 = 28886 / 500 = 58 PEOPLE
TOTAL: 366 PEOPLE
EXITS REQUIRED = 2
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MESA BUILDING CODES

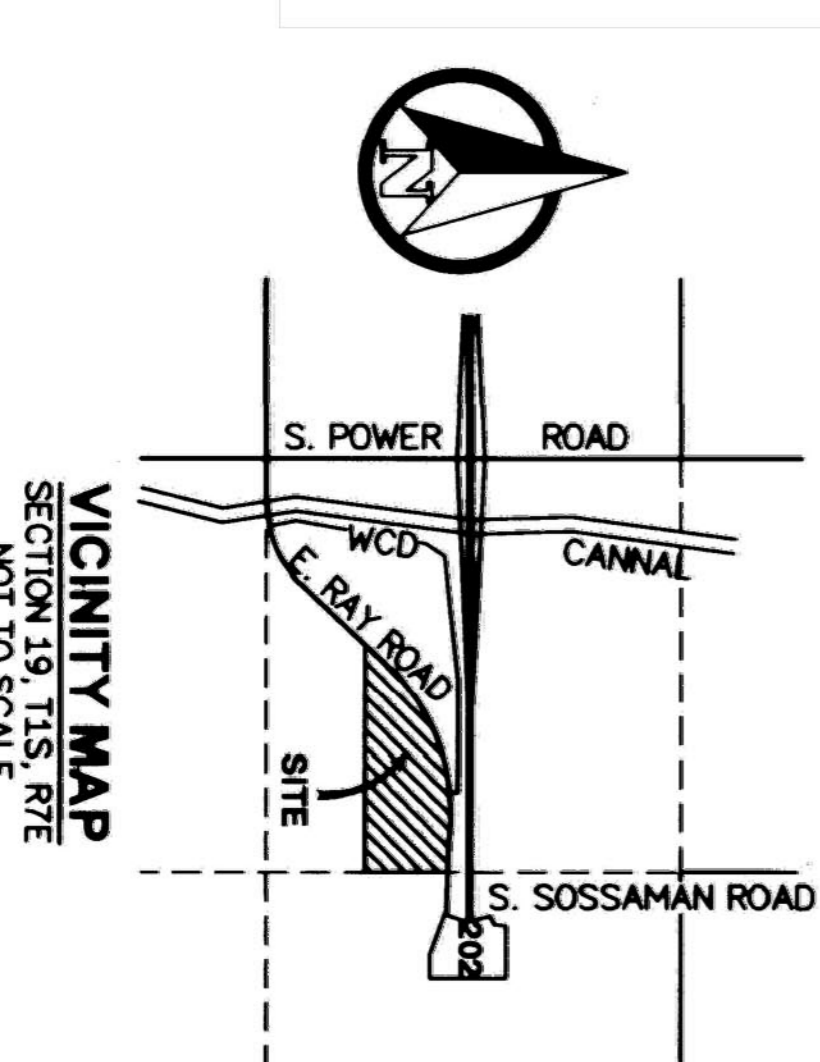
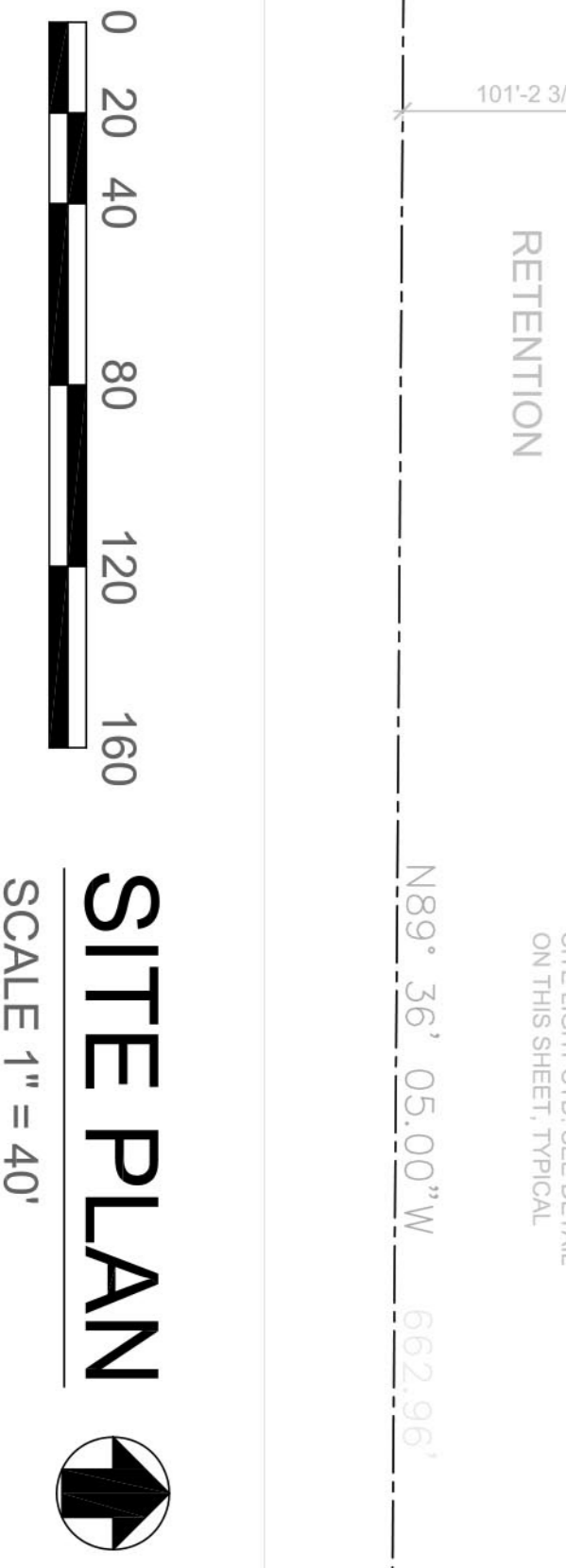
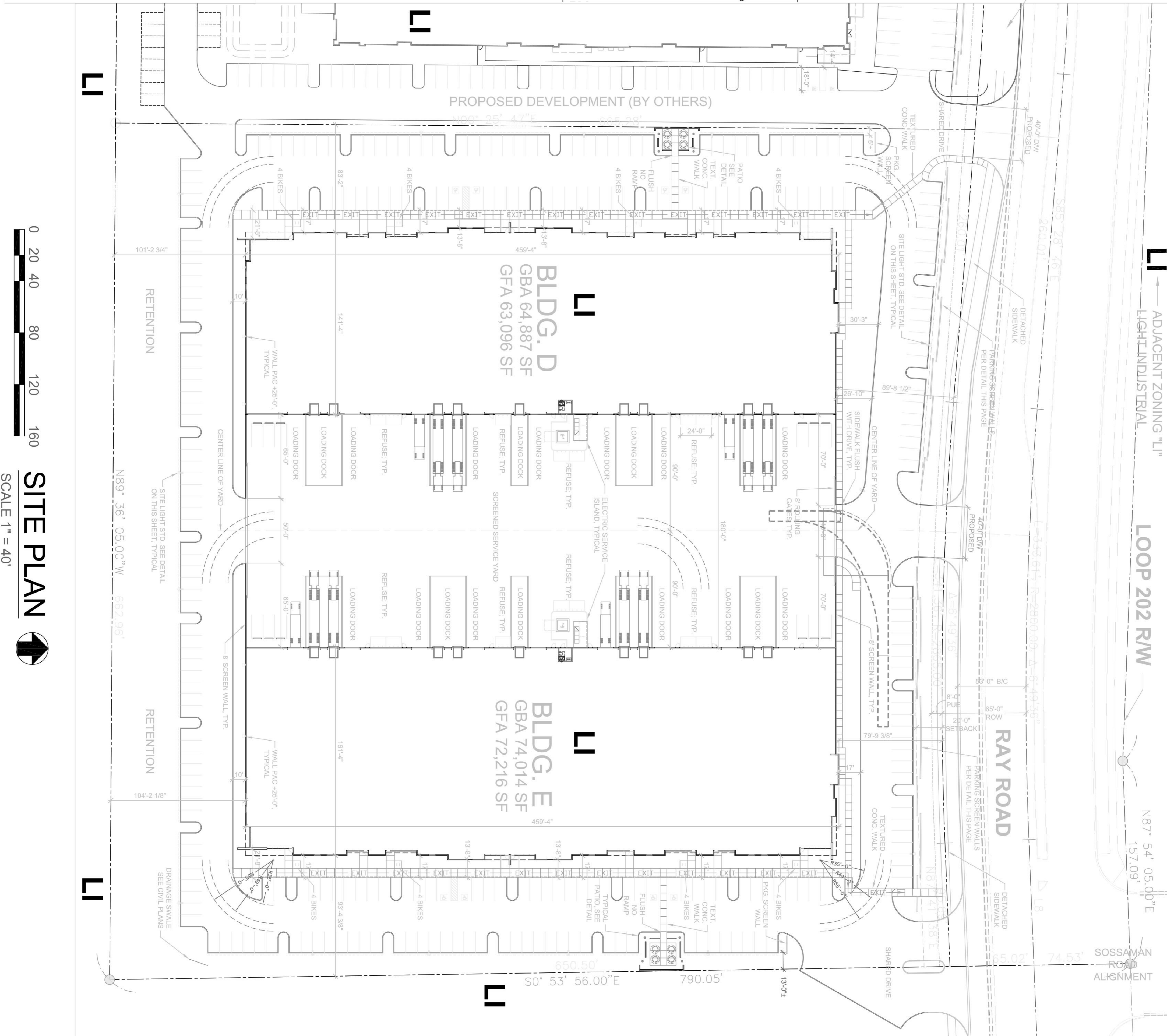
2006 INTERNATIONAL BUILDING CODE
2006 NATIONAL ELECTRICAL CODE
2006 INTERNATIONAL PLUMBING CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL FUEL GAS CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2006 INTERNATIONAL FIRE CODE
2006 INTERNATIONAL EXISTING BUILDING CODE
ARIZONANS WITH DISABILITIES ACT, ADAAG
A.N.S.I. A117.1 CURRENT EDITIONS
WITH CITY OF MESA AMENDMENTS

DEFINITIONS

GBA = GROSS BUILDING AREA, DRIP LINE OF ROOF. (EXTERIOR FACE OF EXTERIOR WALLS)

GFA = GROSS FLOOR AREA, INSIDE FACE OF EXTERIOR WALLS.

APN: 304-30-027M





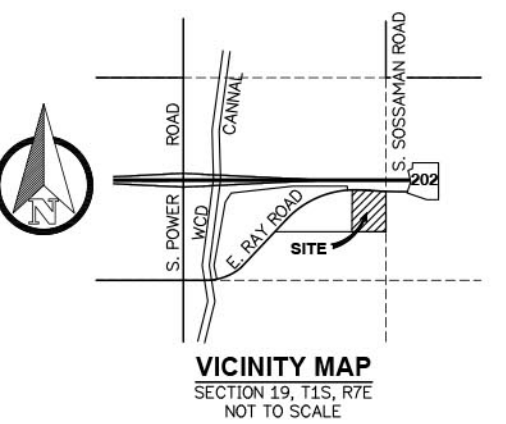
PRELIMINARY GRADING & DRAINAGE PLAN
RAY ROAD COMMERCE CENTER
 ADDRESS
 MESA, ARIZONA

TITLE: PROJECT: DATE: 4/22/2017 PROJ. NO.: 17-0022 SCALE: 1"=40' REV DATE DESCRIPTION DRAWING No. SHEET 1 OF 1

ARCHITECT
 BALMER ARCHITECTURAL GROUP, INC.
 2425 E. CAMELBACK ROAD, SUITE 775
 PHOENIX, AZ 85016
 CONTACT: VICTOR E. KOLLASCH
 PHONE: (602)954-6718
 EMAIL: vkollasch@bag-inc.com

CIVIL ENGINEER
 XCL ENGINEERING, L.L.C.
 1460 S. KAREN DR.
 CHANDLER, AZ 85286
 CONTACT: OMAR CERVANTES, P.E.
 PHONE: (480)275-2711
 EMAIL: ocervantes@xclengineering.com

OWNER / DEVELOPER
 PHX-MESA GATEWAY AIRPORT 193, LLC
 C/O ORSETT PROPERTIES, LTD.
 5353 NORTH 16TH STREET, SUITE #105
 PHOENIX, ARIZONA 85016
 CONTACT: STEVE VINCENT
 PHONE: (602)241-3220
 FAX: (602)241-3294



BASIS OF BEARING
 BASIS OF BEARING NORTH 00 DEGREES 53 MINUTES 56 SECONDS WEST, THE EAST LINE OF THE SOUTHEAST QUARTER SECTION 19, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

BENCHMARK
 BENCHMARK CITY OF MESA BRASS TAG - TOP OF CURB - NE CORNER OF POWER ROAD & INTERSTATE 202 - ELEVATION 1324.10 NAVD88

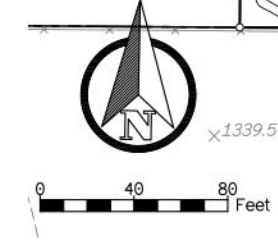
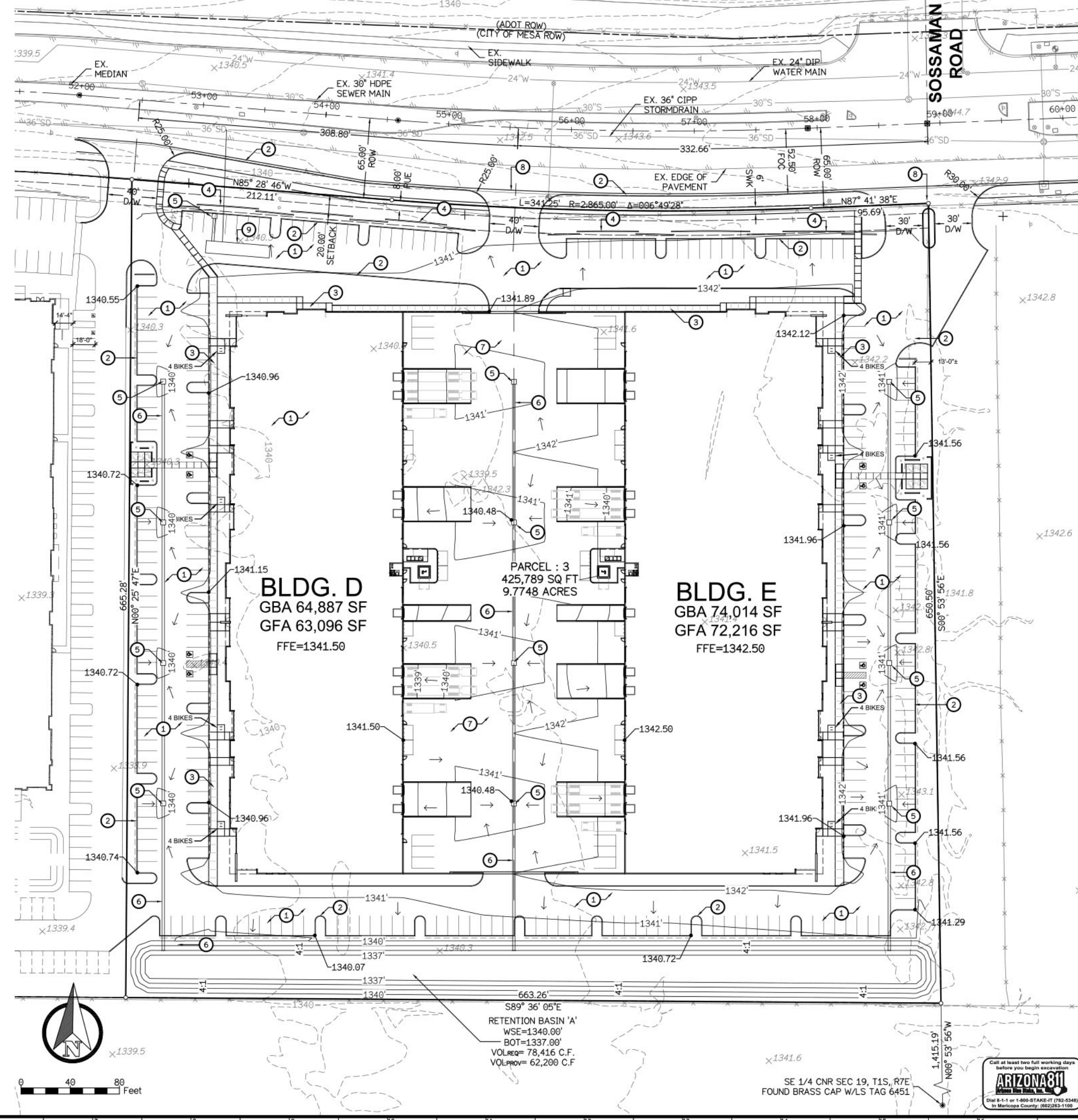
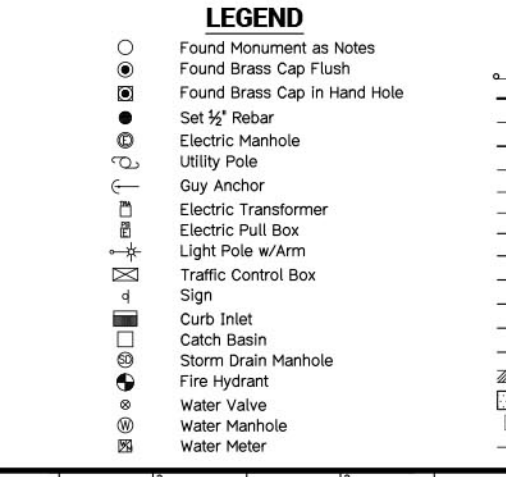
DRAINAGE STATEMENT
 THE SITE IS UNDISTURBED DESERT LAND. THE NEW IMPROVEMENTS WILL PROVIDE WITH A RETENTION BASIN AND UNDERGROUND PIPE COLLECTING FOR THE 100YR-2HR EVENT PER CITY OF MESA ENGINEERING AND DESIGN MANUAL. SUPERFICIAL AND UNDERGROUND RETENTION BASINS WILL DRAIN WITHIN 36 HRS. VIA NATURAL PERCOLATION OR DRYWELL.

DRAINAGE CALCULATIONS
 RETENTION BASIN CALCULATIONS AS PER THE FOLLOWING FORMULA:
 $VOL_{REQ} = C \times (P/12) \times A$
 WHERE:
 C = 0.90 (COMMERCIAL SITE)
 P = 2.6"
 A = SITE AREA, 425,789 S.F.
 VOL_{REQ} = VOLUME REQUIRED
 VOL_{PROV} = VOLUME PROVIDED

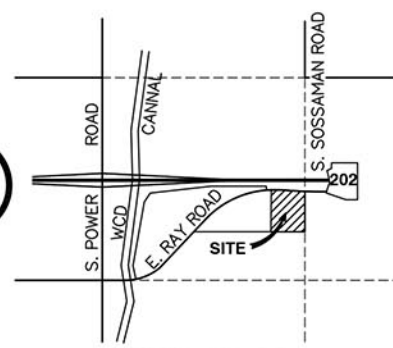
CALCULATIONS			
DRAINAGE AREA (S.F.)	AREA (S.F.)	VOL _{REQ} (C.F.)	VOL _{PROV} (C.F.)
BASIN "A"	425,789	78,416	62,200
UG RET PIPE			16,216
TOTAL		78,416	

IMPROVEMENT NOTES

ID	DESCRIPTION
1	ASPHALT PAVEMENT.
2	CONCRETE CURB & GUTTER (TYPICAL).
3	CONCRETE SIDEWALK (TYPICAL).
4	SCREEN WALLS.
5	STORM DRAIN INLET.
6	STORM DRAIN PIPE.
7	CONCRETE PAVEMENT.
8	NEW 40 FEET DRIVEWAY
9	UNDERGROUND RETENTION PIPE
10	6 FT. WIDTH SIDEWALK



Call at least two full working days before you begin excavation
ARIZONA811
 Dial 811 or 1-800-STAKE-IT (782-3348)
 in Maricopa County, (602)262-1100



VICINITY MAP
SECTION 19, T1S, R7E
NOT TO SCALE

ARCHITECT

BALMER ARCHITECTURAL GROUP, INC.
2425 E. CAMELBACK ROAD, SUITE 775
PHOENIX, AZ 85016
CONTACT: VICTOR E. KOLLASCH
PHONE: (602)954-6718
EMAIL: vkollasch@bag-inc.com

CIVIL ENGINEER

XCL ENGINEERING, L.L.C.
1460 S. KAREN DR.
CHANDLER, AZ 85286
CONTACT: OMAR CERVANTES, P.E.
PHONE: (480)275-2711
EMAIL: ocervantes@xclengineering.com

OWNER / DEVELOPER

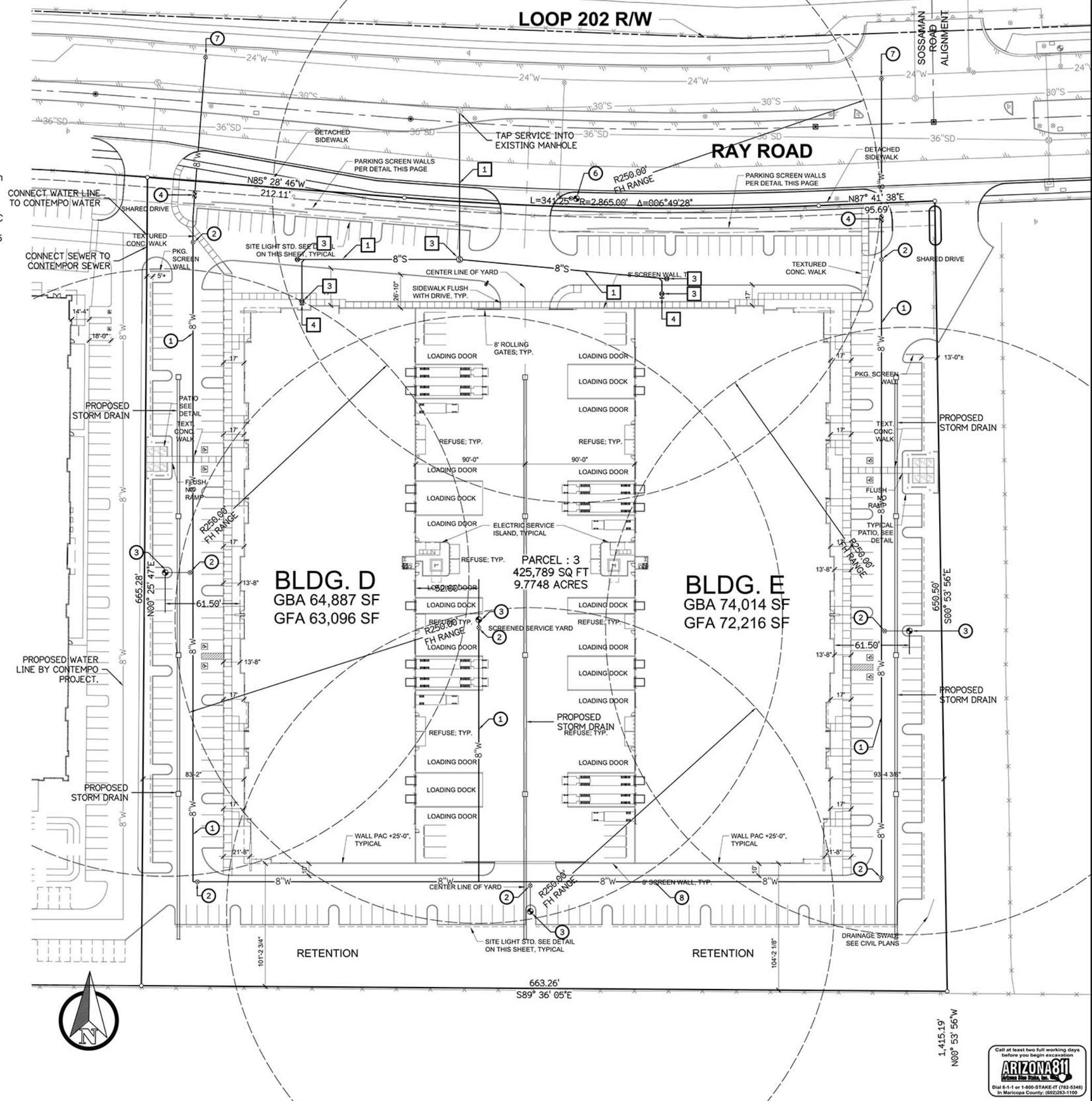
PHX-MESA GATEWAY AIRPORT 193, LLC
C/O ORSETT PROPERTIES, LTD.
5353 NORTH 16TH STREET, SUITE #105
PHOENIX, ARIZONA 85016
CONTACT: STEVE VINCENT
PHONE: (602)241-3220
FAX: (602)241-3294

WATER IMPROVEMENT NOTES	
ID	DESCRIPTION
1	8 INCH WATER LINE
2	8 INCH WATER VALVE
3	FIRE HYDRANT
4	BACK FLOW PREVENTER
5	CONNECTION TO CONTEMPO PROJECT WATER LINE
6	RELOCATE FIRE HYDRANT AND CONNECT TO EXISTING 8 INCH WATER LINE.
7	24" x 8" TAPPING SLEEVE, VALVE AND COVER

SEWER IMPROVEMENT NOTES	
ID	DESCRIPTION
1	8 INCH SEWER LINE
2	CLEAN OUT
3	SEWER MANHOLE
4	BUILDING CONNECTION STUB OUT

LEGEND

- Found Monument as Notes
- Found Brass Cap Flush
- ⊙ Found Brass Cap in Hand Hole
- ⊙ Set 1/2" Rebar
- ⊙ Electric Manhole
- ⊙ Utility Pole
- ⊙ Guy Anchor
- ⊙ Electric Transformer
- ⊙ Electric Pull Box
- ⊙ Light Pole w/Arm
- ⊙ Traffic Control Box
- ⊙ Sign
- ⊙ Curb Inlet
- ⊙ Catch Basin
- ⊙ Storm Drain Manhole
- ⊙ Fire Hydrant
- ⊙ Water Valve
- ⊙ Water Manhole
- ⊙ Water Meter
- ⊙ Water Back Flow Preventer
- ⊙ Drywell
- ⊙ Sewer Manhole
- ⊙ Found Brass Cap Flush
- ⊙ Barricade
- ⊙ Property Line
- ⊙ Roadway Center Line
- ⊙ Right-of-Way (ROW)
- ⊙ Easement Line (PUE, Esmnt.)
- ⊙ Breakline
- ⊙ Barbwire Fence
- ⊙ Overhead Electric Line
- ⊙ Fiber Optic Line
- ⊙ Water Line (Size noted)
- ⊙ Sewer Line (Size noted)
- ⊙ Underground Electric Line
- ⊙ Stormdrain Line (Size noted)
- ⊙ Stormdrain Pipe
- ⊙ New Asphalt
- ⊙ Concrete
- ⊙ Existing Asphalt



LOOP 202 R/W

RAY ROAD

BLDG. D
GBA 64,887 SF
GFA 63,096 SF

PARCEL : 3
425,789 SQ FT
9.7748 ACRES

BLDG. E
GBA 74,014 SF
GFA 72,216 SF

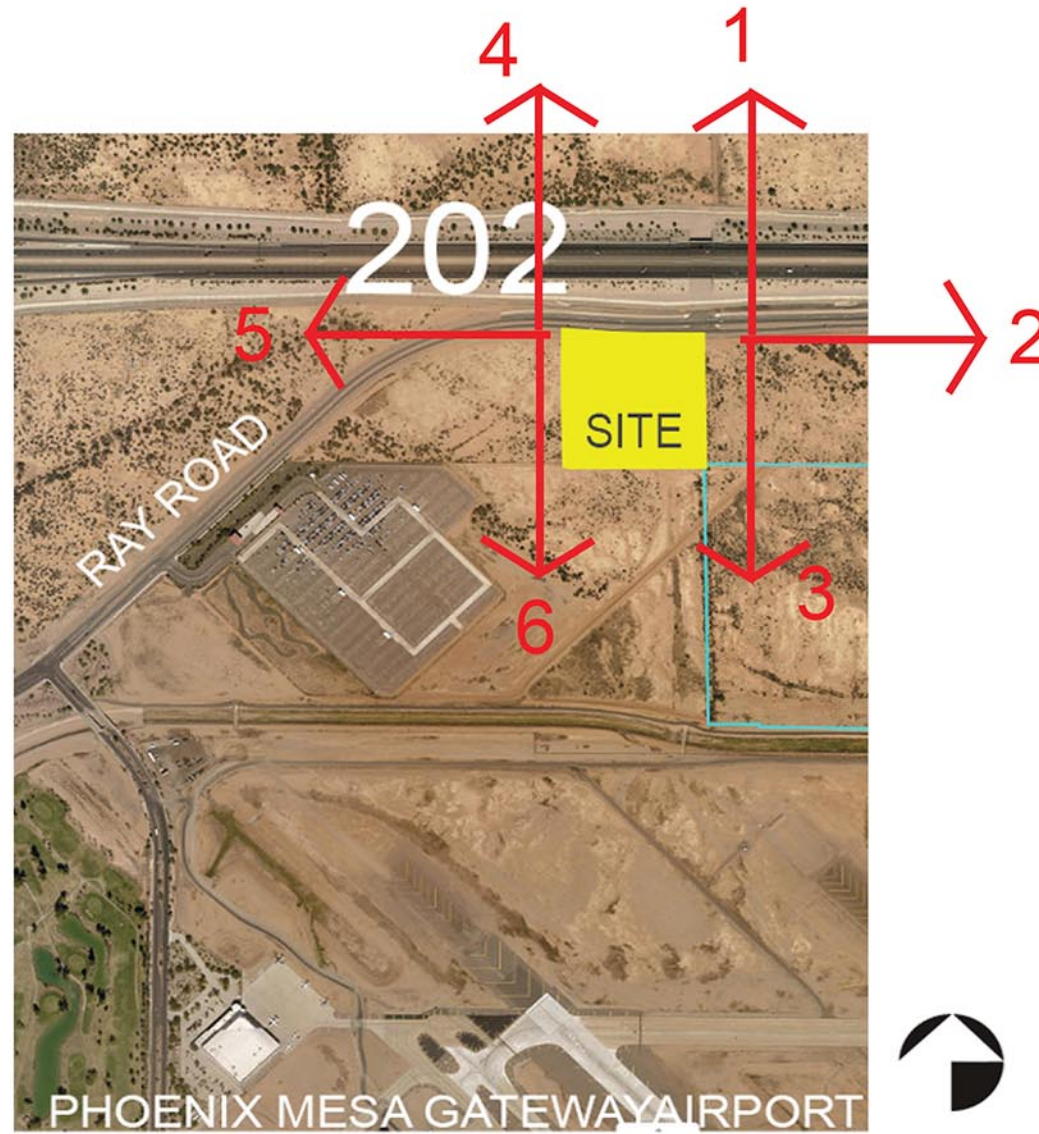
XCL ENGINEERING, LLC
1460 South Karen Drive,
Chandler, AZ 85286
Ph: (480) 275-2711
www.xclengineering.com

CERTIFIED BY:

PRELIMINARY UTILITIES PLAN
RAY ROAD COMMERCE CENTER
ADDRESS
MESA, ARIZONA

TITLE:	PROJECT:
DATE: 4/23/2017	PROJ. NO.: 17-0022
SCALE: 1"=40'	DESCRIPTION:
REV	DATE
DRAWING No. PU01	
SHEET 1 OF 1	





LOOP 202 R/W

RAY ROAD

SOSSAMAN ROAD ALIGNMENT

Future Sossaman Road Curb & Gutter

Existing Curb & Gutter

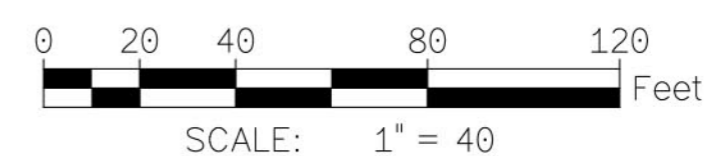
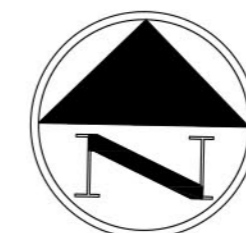
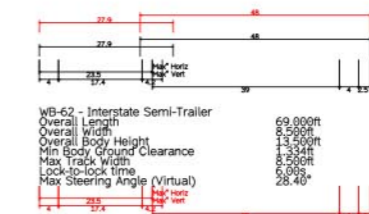
Existing Median

Proposed Curb & Gutter

Ray Road Centerline

30.00'

30.00'



VEHICLE DATA:

Type:	AASHTO WB-62 - Interstate Semi-Trailer
Overall Length:	69.00 Feet
Trailer Length:	48.00 Feet
Overall Width:	8.50 Feet
Overall Body Ht:	13.50 Feet
Min. Speed Maneuver:	5MPH

XCL ENGINEERING, LLC
 1460 South Karen Drive,
 Chandler, AZ 85286
 Ph: (480) 275-2711
 www.xclengineering.com

TITLE: MANEUVER ANALYSIS

**PROJECT: RAY ROAD COMMERCE CENTER
 SWC RAY ROAD AND SOSSAMAN ROAD
 MESA, ARIZONA**

DATE: 5/31/2017
 SCALE: 1:40
 PROJ.No.: 17-0022
 DRAWING No.

VS01

LOOP 202 R/W

RAY ROAD

SOSSAMAN ROAD ALIGNMENT

Future Sossaman Road Curb & Gutter

Existing Curb & Gutter

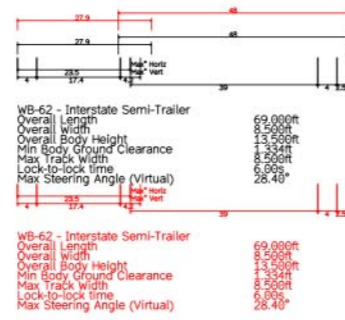
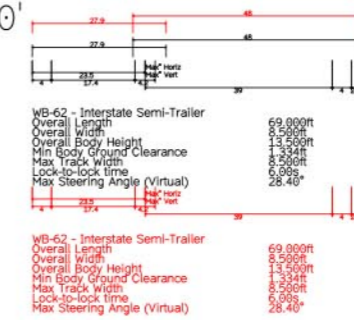
Existing Median

Proposed Curb & Gutter

Ray Road Centerline

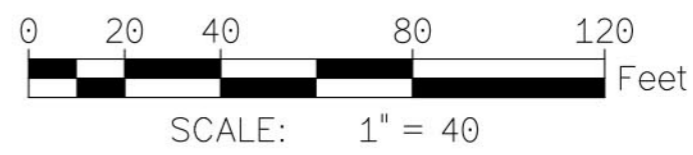
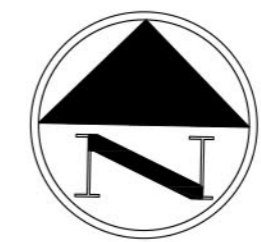
30.00'

30.00'



VEHICLE DATA:

Type:	AASHTO WB-62 - Interstate Semi-Trailer
Overall Length:	69.00 Feet
Trailer Length:	48.00 Feet
Overall Width:	8.50 Feet
Overall Body Ht:	13.50 Feet
Min. Speed Maneuver:	5MPH



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TITLE: MANEUVER ANALYSIS

**PROJECT: RAY ROAD COMMERCE CENTER
 SWC RAY ROAD AND SOSSAMAN ROAD
 MESA, ARIZONA**

DATE: 5/31/2017
 SCALE: 1:40
 PROJ.No.: 17-0022
 DRAWING No. **VS02**

LOOP 202 R/W

RAY ROAD

SOSSAMAN ROAD ALIGNMENT

Future Sossaman Road Curb & Gutter

Existing Curb & Gutter

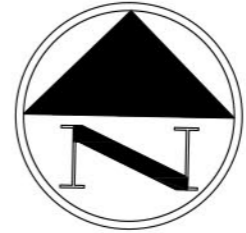
Existing Median

Proposed Curb & Gutter

Ray Road Centerline

30.00'

30.00'



SCALE: 1" = 40'



XCL ENGINEERING, LLC
 1460 South Karen Drive,
 Chandler, AZ 85286
 Ph: (480) 275-2711
 www.xclengineering.com

TITLE: MANEUVER ANALYSIS

PROJECT:
RAY ROAD COMMERCE CENTER
SWC RAY ROAD AND SOSSAMAN ROAD
MESA, ARIZONA

DATE: 5/31/2017
 SCALE: 1:40
 PROJ.No.: 17-0022

DRAWING No.
VS03

VEHICLE DATA:

Type:	AASHTO WB-62 - Interstate Semi-Trailer
Overall Length:	69.00 Feet
Trailer Length:	48.00 Feet
Overall Width:	8.50 Feet
Overall Body Ht:	13.50 Feet
Min. Speed Maneuver:	5MPH

LOOP 202 R/W

RAY ROAD

SOSSAMAN ROAD ALIGNMENT

Future Sossaman Road Curb & Gutter

Existing Curb & Gutter

Existing Median

Proposed Curb & Gutter

Ray Road Centerline

30.00'

30.00'



SCALE: 1" = 40'

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Chandler, AZ 85286
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MANEUVER ANALYSIS

PROJECT:
RAY ROAD COMMERCE CENTER
SWC RAY ROAD AND SOSSAMAN ROAD
MESA, ARIZONA

DATE: 5/31/2017
SCALE: 1:40
PROJ.No.: 17-0022

DRAWING No.
VS04

VEHICLE DATA:

Type:	AASHTO WB-62 - Interstate Semi-Trailer
Overall Length:	69.00 Feet
Trailer Length:	48.00 Feet
Overall Width:	8.50 Feet
Overall Body Ht:	13.50 Feet
Min. Speed Maneuver:	5MPH

LOOP 202 R/W

RAY ROAD

SOSSAMAN ROAD ALIGNMENT

Future Sossaman Road Curb & Gutter

Existing Curb & Gutter

Existing Median

Proposed Curb & Gutter

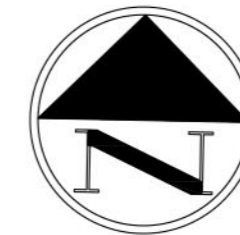
Ray Road Centerline

30.00'

30.00'

VEHICLE DATA:

Type:	AASHTO WB-62 - Interstate Semi-Trailer
Overall Length:	69.00 Feet
Trailer Length:	48.00 Feet
Overall Width:	8.50 Feet
Overall Body Ht:	13.50 Feet
Min. Speed Maneuver:	5MPH



SCALE: 1" = 40'



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Chandler, AZ 85286
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TITLE: MANEUVER ANALYSIS

PROJECT:

**RAY ROAD COMMERCE CENTER
SWC RAY ROAD AND SOSSAMAN ROAD
MESA, ARIZONA**

DATE: 5/31/2017

SCALE: 1:40

PROJ.No.: 17-0022

DRAWING No.

VS05